

An aerial photograph of the Newburgh Boat Yard. The yard is situated on a grassy peninsula next to a large body of water. It features a playground with colorful equipment, a paved area with several red kayaks, and a small building. To the right, there are residential houses with brown roofs and a parking lot. The background shows a wide river or estuary with sandbars and distant hills.

NEWBURGH BOAT YARD

West Port Road, Newburgh KY14 6DU

BIDWELLS

NEWBURGH BOAT YARD

West Port Road • Newburgh • KY14 6DU

Unique Development Opportunity in an Exceptional Setting Overlooking the River Tay

*Cupar 18 min, Perth 22 min, Dundee 30 min, St. Andrews 35 mins
(all distances are approximate)*

- Highly Unique Opportunity
- Stunning Setting Overlooking the River Tay
- Full Planning - 7 New Build Homes & Conversion of Existing Bothy

Offers over £ 275,000





THE DEVELOPMENT

The former Newburgh Boat Yard benefits from Full Planning Permission to develop 7 new homes overlooking the River Tay. The existing Bothy occupying the northeast corner of the site, will be retained to provide a further house with expansive views over the River. The former boat yard and its outlook, and proximity to the Tay offers a truly unique development opportunity.

The site, extending to approximately 0.62 acres or thereby, is regular in configuration. The site is currently accessed from a private track opposite the slipway, which is in turn accessed from the junction between West Port Road and Gardens Road. The development requires a new access to be created from West Port Road.

A detailed technical pack can be made available to all interested parties, with the following included:

- Topographical Survey
- Site Layout
- House Types
- Drainage Strategy
- Flood Risk Assessment

LOCATION

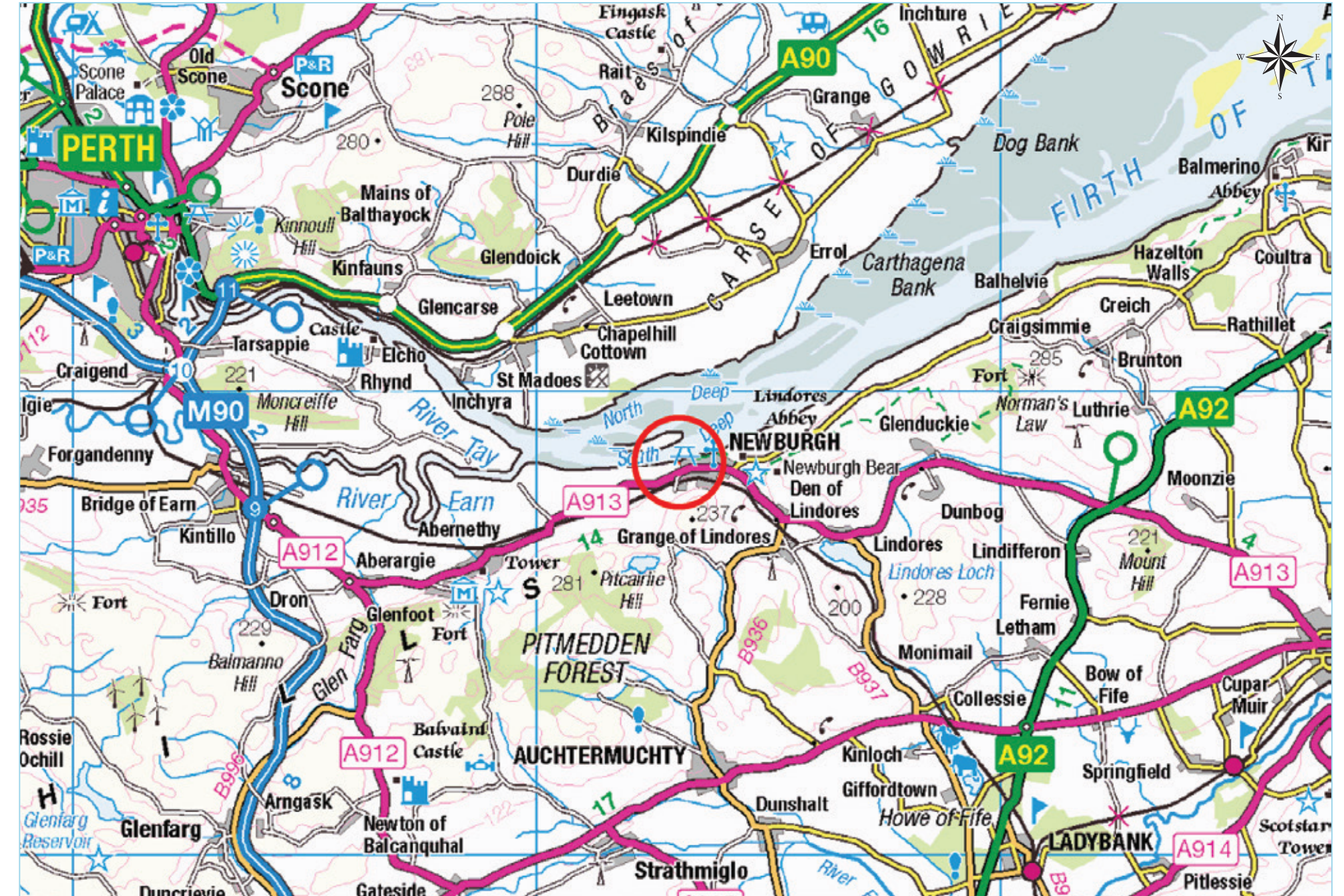
The Royal Burgh of Newburgh is located on the south bank of the Firth of Tay with an estimated population of approximately 2,110. Newburgh is located approximately 19.2 miles southwest of Dundee, 11.4 miles southeast of Perth, 20.1 miles west of St. Andrews and 48 miles north of Edinburgh. The town is home to Lindores Abbey Distillery & Visitor Centre as well as access to all necessary amenities in the town centre, including retail, chemists, and primary education. Outdoor sports and leisure facilities are also available.

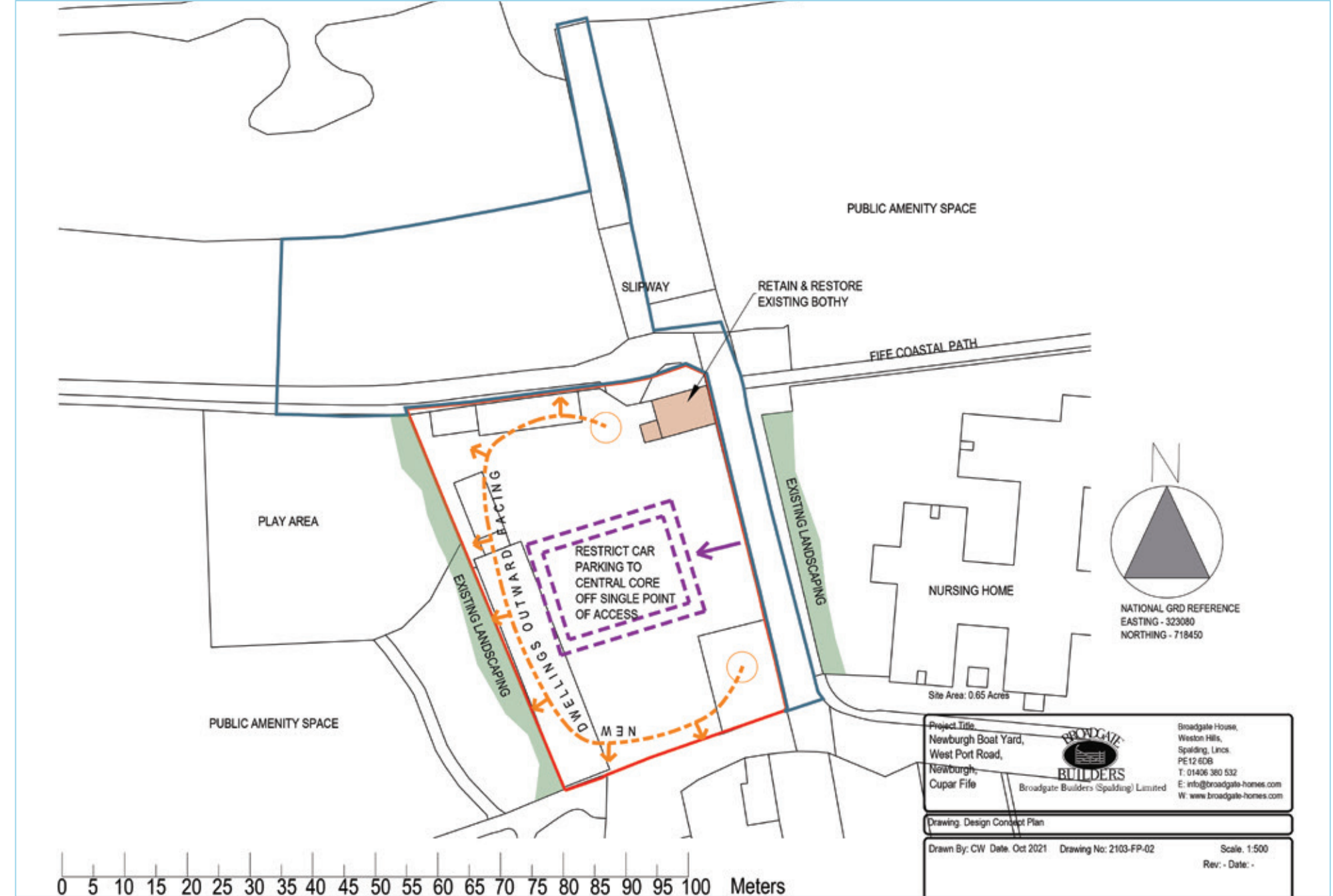
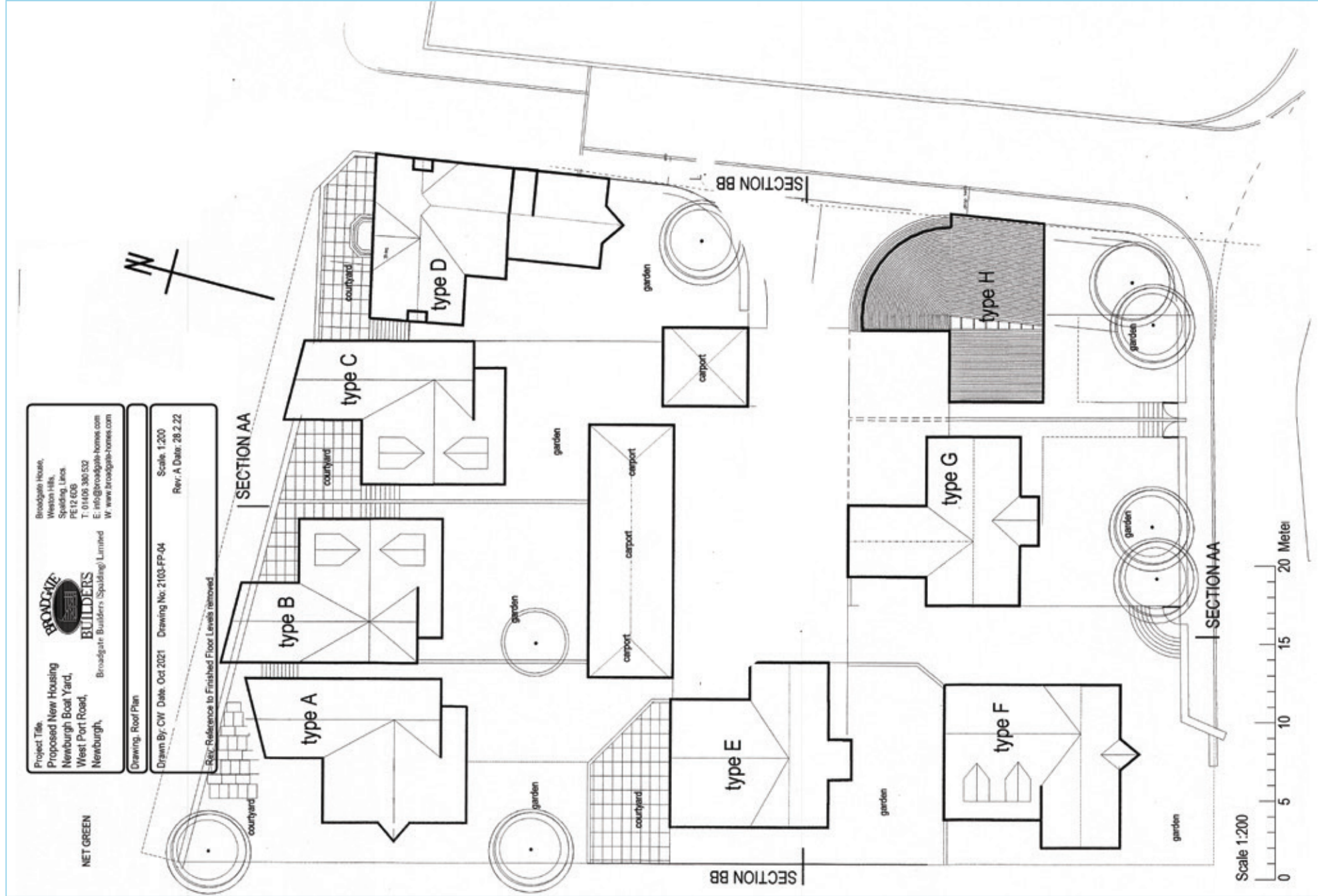
The site itself is located on the northern periphery of the town, overlooking the banks of the River Tay.

6



7





GENERAL INFORMATION

FLOOD RISKS

As far as the seller is aware, the property has not flooded in the last 5 years.

The Scottish Environment Protection Agency website uses indicative flood maps to provide a general overview of land in flood plains and therefore potentially at risk of flooding by river or sea. We note from enquiries made on the website that the Property falls outside an indicative flood plain but there could still be localised effects from flooding in some places.

VIEWING

Strictly by prior agreement with the selling agents who should be contacted in advance to advise on access arrangements.

CLOSING DATE

A closing date may be fixed, and prospective purchasers are advised to formally register their interest through their solicitors with the selling agents. Prospective purchasers should be aware that unless their interest in the property is formally noted, no guarantee can be given that confirmation of a closing date will be provided, consequently the property may be sold without prior notice. For the avoidance of doubt, noting interest only entitles prospective purchasers to notification of a closing date being set and not that other potentially competing pre-emptive offers have been received. The sellers are entitled to accept any offer at any time.

OFFERS

Offers in Scottish Legal Form should be submitted to the Selling Agents at their Perth office. Parties are asked to satisfy themselves that they fully understand the implication of offering under Scottish Law. The sellers reserve the right not to accept any offer.

DATE OF ENTRY

To be mutually agreed in writing.

TITLE

Should there be any discrepancy between these particulars, stipulations, special conditions of sale and missives of sale the last shall prevail.

TENURE

Absolute Ownership Interest (Freehold)

DEPOSIT

A deposit of 10% of the purchase price will become payable to the seller within 14 days after conclusion of missives. Interest at 5% above the Bank of Scotland base rate shall be payable on the purchase price from the date of entry until paid and that notwithstanding that the purchaser may not have taken entry. If the purchaser fails to make payment within 28 days of the date of entry with all accrued interest, the seller shall be entitled to resile from the missives and resell the subjects of sale without prejudice to his rights and recover damages from the purchaser.

FINANCIAL GUARANTEE/ANTI-MONEY LAUNDERING REGULATIONS

Any offer by prospective purchaser(s), regardless of where they are ordinarily resident and regardless whether on a cash or subject to loan finance basis, must be accompanied by a financial reference from a bank/funding source that is acceptable to the sellers. Prospective purchasers will also be required to produce identification sufficient to satisfy anti money laundering regulations and checks against the intended purchaser or nominee together with other documentation that may be required, from time to time, in order to support any conditional offers submitted to the seller. Bidwells LLP accepts no liability of any type arising from your delay or other lack of co-operation in this regard. Failure to provide the requisite AML documentation with offers may result in them not being considered at the closing date or being superseded by an offer which is. Settlement may also be delayed or aborted due to non-compliance with requests for information or failure to deliver adequate information within the requisite timeframes. We may hold your name on our database unless you instruct us otherwise.

RESTRICTIONS AND THIRD PARTY RIGHTS

Third Party Rights: The sellers are not aware of any third-party rights over the property.

Listing Status: None

Conservation Area: No

PLANNING PERMISSION

The property has Planning Permission in Full for the development of 7 new homes and the conversion of the existing bothy. Further information can be found on the Fife Council planning portal under ref: 22/00430/FULL.

WARRANTIES

There are no warranties or guarantees included with this sale.

VAT

In the event of a charge to VAT being made on the whole or any part of the purchase price or the movable items, the purchaser will be responsible for meeting the VAT liability.

APPORTIONMENTS

The Council Tax, Sporting Rates, Commercial Rates and all other outgoings shall be apportioned between the seller and the purchaser(s) as at the date of entry.

PURCHASER'S OBLIGATIONS

Fencing demarking the boundary of the property is generally to be maintained at the purchaser's expense in perpetuity. New fencing required to demark currently unfenced sections of the new boundary must be stockproof and will be erected and thereafter maintained at the purchaser's expense in perpetuity.

LOCAL AUTHORITY

Fife Council

SELLING AGENT

Bidwells
Broxden House, Lamberkine Drive, Perth, PH1 1RA

T: 01738 630666
E: murray.watson@bidwells.co.uk or
andrew.wood@bidwells.co.uk

360 VIEW

Please scan the QR Code:



IMPORTANT NOTICE

Bidwells LLP act for themselves and for the vendors of this property, whose agents they are, give notice that:

Nothing contained in these particulars or their contents or actions, both verbally or in writing, by Bidwells LLP form any offer or contract, liability or implied obligation to any applicants, viewing parties or prospective purchasers of the property to the fullest extent permitted by law and should not be relied upon as statements or representative of fact. No person in the employment of Bidwells LLP or

any joint agents has authority to make or give any representation or warranty whatever in relation to this property. Any areas of measurements or distances are approximate. The text, photographs and plans are for guidance only, may not be to scale and are not necessarily comprehensive. No assumptions should be made that the property has all necessary planning, building regulation or other consents. Bidwells LLP has not carried out a survey, nor tested the services, appliances or facilities. Purchasers must satisfy themselves by inspection or otherwise. All rentals and prices are quoted exclusive of VAT unless otherwise stated.

Prospective purchasers may be asked to produce identification of the intended Purchaser and other documentation in order to support any conditional offers submitted to the vendors. Bidwells LLP accepts no liability of any type arising from your delay or other lack of co-operation. We may hold your name on our database unless you instruct us otherwise.

OS licence no. ES 100017734. © Copyright Bidwells LLP 2024. Bidwells LLP is a limited liability partnership registered in England and Wales (registered number OC 344553). Registered office is Bidwell House, Trumpington Road, Cambridge CB2 9LD where a list of members is available for inspection. Your statutory rights are not affected by this notice.

Sales particulars prepared, and photographs taken in May 2024.

